



**DEVELOPMENT PERMIT NO. DP001115**

**1035137 BC LTD.**

**Name of Owner(s) of Land (Permittee)**

**615 and 699 HAREWOOD ROAD**

**Civic Address**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT B, SECTION 1, NANAIMO DISTRICT, PLAN 1566, EXCEPT PART IN  
PLAN EPP77798  
PID No. 007-180-756**

**SECTION 22, RANGE 5, SECTION 1, NANAIMO DISTRICT, PLAN 630  
EXCEPT THOSE PARTS IN PLANS 1566 AND 1575  
PID No. 008-742-316**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**

**Schedule B Site Plan**

**Schedule C Building Elevations**

**Schedule D Landscape Plan and Details**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

1. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building height from 8m to:
  - i. 8.89m (Building A)
  - ii. 8.84m (Building B)
2. *Section 7.5.1 Siting of Buildings* – to reduce the minimum rear setback requirement from 1.5m to 1.2m for proposed Lot A.

The City of Nanaimo "OFF-STREET PARKING REGULATIONS BYLAW 2018 NO. 7266" is varied as follows:


1. *Section 7.1 Multiple Family Dwelling Parking Requirements* – to reduce the required number of parking spaces for Lot A from 8 spaces to 4 spaces.
2. *Section 4.3 Small Car Spaces* – to increase the permitted percentage of small car parking spaces for Lot B from 40% to 50%.

#### CONDITIONS OF PERMIT

1. Prior to building permit issuance, a boundary adjustment between the subject properties is required in accordance with the Site Plan prepared by de Hoog & Kierulf Architects, dated 2019-FEB-28 as shown on Schedule B.
2. The subject properties are developed in accordance with the Site Plan prepared by de Hoog & Kierulf Architects, dated 2019-FEB-28 as shown on Schedule B.
3. The subject properties are developed in substantial compliance with the Building Elevations prepared by de Hoog & Kierulf Architects, dated 2019-FEB-28 as shown on Schedule C.
4. The subject properties are developed in substantial compliance with the Landscape Plan and Details prepared by MacDonald Gray., dated 2019-FEB-27 as shown on Schedule D.
5. Prior to building occupancy, registration of a *Section 219* covenant containing an easement to secure reciprocal access and parking between the subject properties.

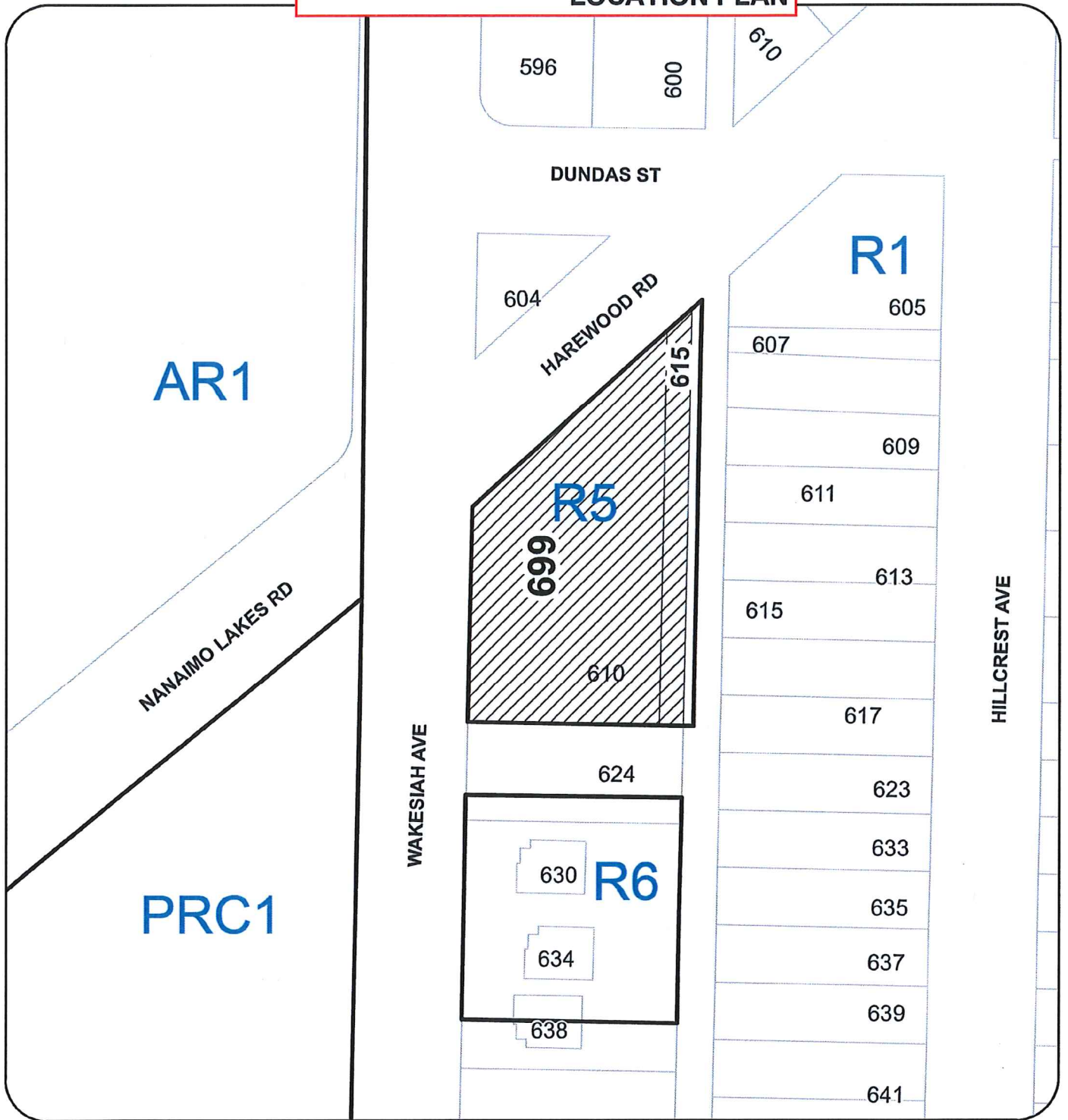
AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 18TH DAY OF MARCH, 2019.

  
\_\_\_\_\_  
D/ Corporate Officer

  
\_\_\_\_\_  
Date

Development Permit DP001115 Schedule A  
615/699 Harewood Road

### LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001115

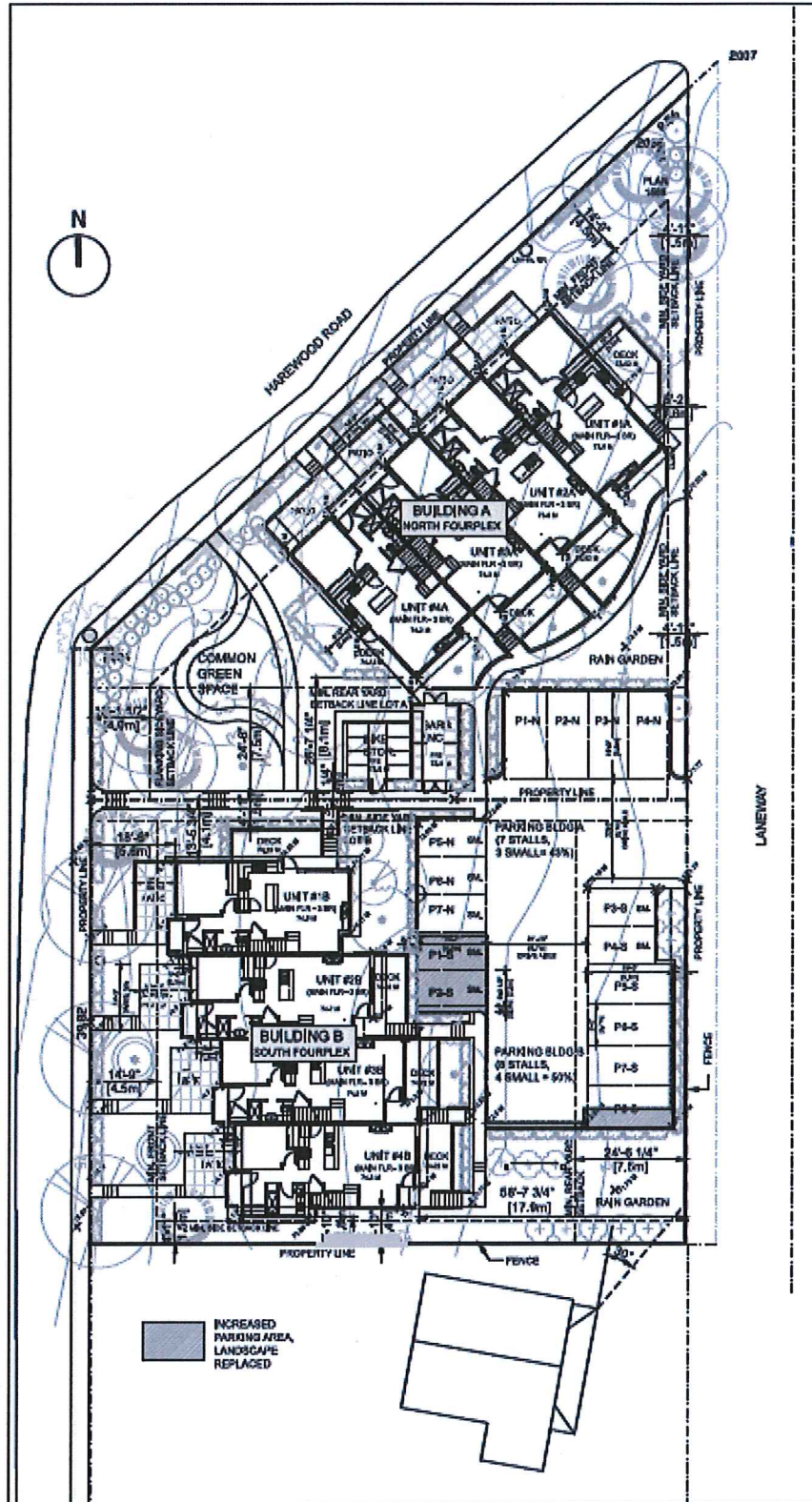
### LOCATION PLAN



 Subject Property

Civic: 615 Harewood Road / 699 Harewood Road  
Legal Description: LOT B PLAN 1566 EXCEPT PART IN PLAN EPP77798  
AND SECTION 22 RANGE 5, PLAN 630 EXCEPT THOSE PARTS IN PLANS  
1566 AND 1575 ALL IN SECTION 1 NANAIMO DISTRICT

**SITE PLAN**



SITE PLAN: MAIN LEVEL  
SCALE: 1/16" = 1'-0"

RECEIVED  
DP1115  
2019-FEB-28  
Current Planning

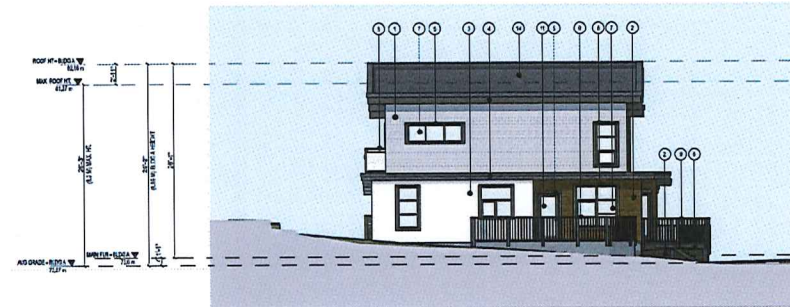
Development Permit DP001115 Schedule C  
 615/699 Harewood Road  
**BUILDING ELEVATIONS**



BUILDING A: WEST ELEVATION (NORTHWEST)  
 (FRONT FACING HAREWOOD ROAD)



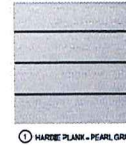
BUILDING A: EAST (SOUTHEAST) ELEVATION  
 (REAR FACING RAIN GARDEN + PARKING)



BUILDING A: SOUTH ELEVATION  
 (SIDE FACING COMMON GREEN SPACE)



BUILDING A: NORTH ELEVATION (NORTHEAST)  
 (SIDE FACING GREEN SPACE TO NORTH)



① HARDIE PLANK - PEARL GRAY



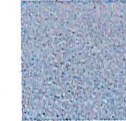
② HARDIE PLANK - CHESTNUT BROWN



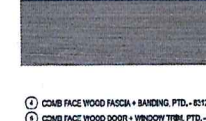
③ STUCCO FINISH, WHITE OR HARDIE BOARD



④ GUARD RAIL WITH PRE-FINISHED METAL



⑤ 2 PLY SBS ROOFING - CHARCOAL GREY



⑥ COMB FACE WOOD FASCIA + BANDING, PTD, #312 CLOVERDALE  
 ⑦ COMB FACE WOOD DOOR + WINDOW TRIM, PTD, #312 CLOVERDALE  
 ⑧ COMB FACE CLAD POSTS + BEAMS, PTD, #312 CLOVERDALE



⑨ VINYL WINDOWS - CHARCOAL EXTERIOR, WHITE INTERIOR  
 ⑩ FIBERGLASS DOOR W/ SIDE LITE - PTD, TO MATCH WINDOWS  
 ⑪ FIBERGLASS DOOR W/ FULL LITE - PTD, TO MATCH WINDOWS

MATERIAL FINISHES

FINISHES LEGEND	
①	HARDIE PLANK - PEARL GRAY
②	HARDIE PLANK - CHESTNUT BROWN
③	STUCCO FINISH, WHITE OR HARDIE BOARD IN ARCTIC WHITE
④	COMB FACE WOOD FASCIA + BANDING, PTD, #312 CLOVERDALE
⑤	COMB FACE WOOD DOOR + WINDOW TRIM, PTD, #312 CLOVERDALE
⑥	COMB FACE CLAD POSTS + BEAMS, PTD, #312 CLOVERDALE
⑦	VINYL WINDOWS - CHARCOAL EXTERIOR, WHITE INTERIOR
⑧	GUARD RAIL WITH PRE-FINISHED METAL - CHARCOAL
⑨	FIBERGLASS DOOR W/ SIDE LITE - PTD, TO MATCH WINDOWS
⑩	FIBERGLASS DOOR W/ FULL LITE - PTD, TO MATCH WINDOWS
⑪	VINYL SLIDING DOOR UNITS - CHARCOAL EXTERIOR, WHITE INTERIOR
⑫	METAL SOFFIT - WOODGRAIN VERTICAL OR BROWN TO MATCH CLADDING
⑬	2 PLY SBS ROOFING - CHARCOAL GREY
⑭	WOOD SCREENS + TRELLISES - #312 CLOVERDALE

615 + 699 HAREWOOD ROAD, NANAIMO, BC  
**ELEVATIONS: BUILDING A + MATERIALS**  
 SK-7  
 1/8" = 1'-0"  
 de Hoog & Kramell architects  
 REVISED FOR DP 20 FEBRUARY 2019  
 SUBMITTED FOR OSP 07 SEPTEMBER 2018

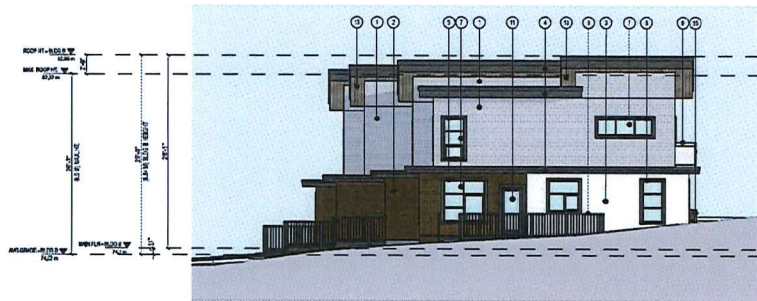
**RECEIVED**  
**DP 1115**  
**2019-MAR-05**  
 CLERK OF WORKS



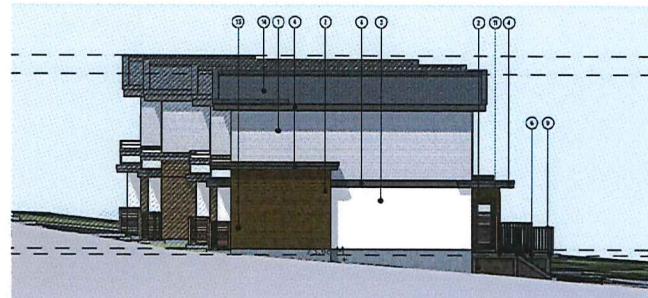
BUILDING B: WEST ELEVATION  
(FRONT FACING WAKEMAH)



BUILDING B: EAST ELEVATION  
(FACING PARKING)



BUILDING B: NORTH ELEVATION  
(SIDE FACING COMMON GREEN SPACE)



BUILDING B: SOUTH ELEVATION  
(SIDE FACING PROPERTY TO SOUTH)



SITE PLAN

de Hoog & Kleruif architects

SK-8  
1/8" = 1'-0"

ELEVATIONS: BUILDING B

615 + 689 HAREWOOD ROAD, NANAIMO, BC

REVISED FOR DP  
24 FEBRUARY 2019  
SUBMITTED FOR DP  
01 SEPTEMBER 2018

RECEIVED  
DP 1115  
2019-MAR-05  
CITY OF NANAIMO

Development Permit DP001115 Schedule D  
 615/699 Harewood Road  
**LANDSCAPE PLAN AND DETAILS**

**GENERAL NOTES**

1. THE LANDSCAPING CHARACTER AREA FOR THE SITE IS HAREWOOD.
2. REFER TO SITE PLAN PREPARED BY DE HOOG & KERRULY ARCHITECTS FOR SITE PLAN LAYOUT, PROPOSED FINISHED FLOOR ELEVATIONS AND OTHER ARCHITECTURAL INFORMATION.
3. REFER TO CIVIL PLANS AND REPORT PREPARED BY CASCARA CONSULTING ENGINEERS LTD. FOR ALL SITE SERVICES, GRADING AND DRAINAGE INFORMATION.
4. REFER TO TREE MANAGEMENT PLAN PREPARED BY TOTH AND ASSOCIATES ENVIRONMENTAL SERVICES FOR ALL TREE REMOVAL, RETENTION, REPLACEMENT AND PROTECTION INFORMATION. ALL OFF-SITE TREE RETENTION AND REMOVAL SHALL BE AS DIRECTED BY THE CITY OF NANAIMO.

**GRADING LEGEND**

SYMBOL	DESCRIPTION
+ FFE 10.00	FINISHED FLOOR ELEVATION
+ FS 10.00	FINISHED SURFACE
+ FG 10.00	FINISHED GRADE
+ TW 10.00	TOP OF WALL
+ BW 10.00	BOTTOM OF WALL
+ TS 10.00	TOP OF STAIR
+ BS 10.00	BOTTOM OF STAIR
75 MIN.	DRAINAGE DIRECTION AND SLOPE

**LAYOUT LEGEND**

ABBREVIATION	DESCRIPTION
(E)	EXISTING
E	PROPERTY LINE
PA	PLANTING AREA
TY	TYPICAL

SYMBOL	DESCRIPTION
---	PROPERTY LINE
—○—	2.0m TIMBER FENCE / COLLIERY DAM FENCE, REFER TO DETAILS A & B
—□—	CONCRETE RETAINING WALL, SACK FINISH
—■—	BROOM FINISH CONCRETE PAVING, STAIRS AND HANDRAIL
—■—	BROOM FINISH CONCRETE PATIOS WITH 600mm SCORE PATTERN
—■—	GRAVEL PATH, 150mm (1/2") MINUS COMPACTED 8/16" CHIP AND TIMBER EDGE
—■—	LEAVE STRIP, 0.15m WIDTH OF 50mm (2") MINUS, WASHED RIVER ROCK OVER LANDSCAPE FABRIC AND TIMBER EDGE
—■—	POST TOP ARBOR, REFER TO DETAIL A
—■—	FREESTANDING ARBOR AND GATE, REFER TO DETAIL A
—■—	BENCH, SURFACE MOUNTED ON BROOM FINISH CONCRETE PAD: QTY: 2 MANUFACTURER: WISHBONE SITE FURNISHINGS STYLE: AYLESBURY PARK BENCH MODEL: AN1-5 SLAT COLOUR: HARBOUR GREY FRAME COLOUR: OIL RUB TEXTURED BRONZE
—■—	PICNIC TABLE, SURFACE MOUNTED ON BROOM FINISH CONCRETE PAD: QTY: 1 MANUFACTURER: WISHBONE SITE FURNISHINGS STYLE: PARKER PICNIC TABLE MODEL: PPT-6 SLAT COLOUR: HARBOUR GREY FRAME COLOUR: OIL RUB TEXTURED BRONZE
—○—	LED BOLLARD LIGHTING: QTY: 14 MANUFACTURER: KING LUMINAIRE (OR EQUAL) STYLE: SHOUQUETTE MODEL: KLM-3 COLOUR: BROWN METAL
—○—	PARKING LOT LIGHTING (FULL CUT OFF, LED FLAT LENS): QTY: 5 MANUFACTURER: KING LUMINAIRE (OR EQUAL) STYLE: FAUCONRIDGE LUMINAIRE WITH SINGLE ARM ON 5.2m (17') POLE MODEL: F203 WITH K65-4-T1 ARM ON K5897-RE POLE COLOUR: BROWN METAL

FINAL PARKING LOT LIGHTING AND BOLLARD MAKES, MODELS, LOCATIONS, QUANTITIES AND PHOTOMETRIC ANALYSIS SHALL BE BY PROJECT ELECTRICAL ENGINEER.

**IRRIGATION EQUIPMENT LEGEND**

SYMBOL	MANUFACTURER	MODEL	DESCRIPTION
(C)	HUNTER	IBD	(1) AUTOMATIC IRRIGATION CONTROLLERS IN WATER ROOMS OF BUILDINGS, EXACT LOCATION TO BE DETERMINED BY MECHANICAL
(ET)	HUNTER	W50-50N	(2) WIRELESS SOLAR-SENSING SENSORS ON SOUTHWEST-FACING CANOES
(BF)	BY MECHANICAL	BY MECHANICAL	(1) 38mm (1.5") DOUBLE CHECK BACKFLOW PREVENTERS AND WATER SUPPLY, EXACT LOCATION TO BE DETERMINED BY MECHANICAL
---	SCHEDULE 40		(2) 38mm (1.5") PVC MANLINES
---	SCHEDULE 40		PVC SLEEVES UNDER ALL PAVING AND THROUGH WALLS MEN., TYP. MANLINE & LATERALS: 100mm (4") LATERALS ONLY: 75mm (3") CONTROL WIRE: 50mm (2") BURIAL DEPTH TO MATCH DEPTH OF CARRIED PIPE.

**IRRIGATION NOTES**

1. IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
2. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR MICRO DRIP EQUIPMENT.
3. THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADII OF SPENKERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
4. ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 50mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
5. OPERATE IRRIGATION CONTROLLER WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.



THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNTIL IT HAS BEEN SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

**615 & 699 Harewood Road  
 1035137 BC Ltd.  
 Nanaimo, BC**

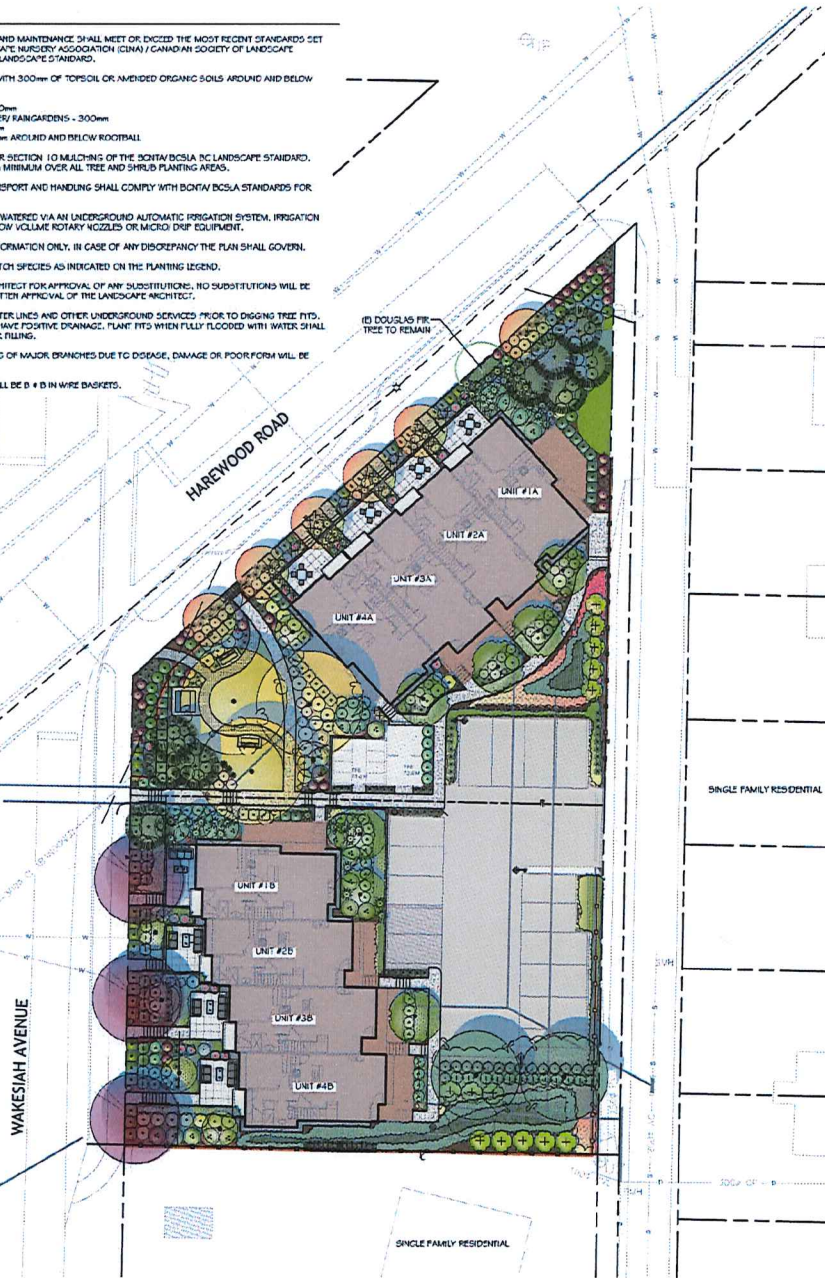
LANDSCAPE ARCHITECTURE	
DATE:	February 27, 2019
REVISION:	1
CHECKED:	HL
SCALE:	1:500 metric
PROJECT NUMBER:	18-0004
DRAWING NUMBER:	L1 of 4

REVISIONS	
#	DATE
0	2019-02-28
1	2019-02-28
2	2019-02-28

RECEIVED  
**DP1115**  
 2019-FEB-28  
 City of Nanaimo

PLANTING NOTES

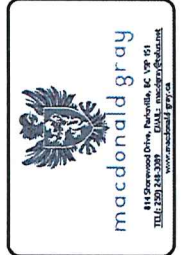
1. ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN LANDSCAPE NURSERIES ASSOCIATION (CLNA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARDS.
2. ALL TREES SHALL BE PLANTED WITH 300mm OF TOPSOIL OR AMENDED ORGANIC SOILS AROUND AND BELOW ROOTBALL.
3. SOIL DEPTHS: SHRUBS - 450mm  
GROUNDCOVER/RAIN GARDENS - 300mm  
LAWN - 100mm  
TREES - 300mm AROUND AND BELOW ROOTBALL
4. MULCH SHALL BE COMPOST PER SECTION 10 MULCHING OF THE BCNA/BCSLA INC LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM OVER ALL TREE AND SHRUB PLANTING AREAS.
5. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH BCNA/BCSLA STANDARDS FOR NURSERY STOCK.
6. ALL PLANTING AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR MICRO DRIP EQUIPMENT.
7. PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
8. ALL PLANT MATERIAL SHALL MATCH SPECIES AS INDICATED ON THE PLANTING LEGEND.
9. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
10. CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE PITS. DIGGATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
11. NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.
12. ALL CALIPRE STOCK TREES SHALL BE 8" x 8" IN WIRE BASKETS.



PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY.	NOTES
<b>TREES</b>					
	ACER ORICULATUM VINE MAPLE	#5 POT	SEE PLAN	10	NATIVE SPECIES
	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY EASTERN REDBUD	6cm CAL	10.0m O.C.	3	NATIVE CANADIAN CULTIVAR
	CORYLUS CORNUTA DEANED HAZELNUT	6cm CAL	2.0m O.C.	13	NATIVE SPECIES, (1) REPLACEMENT TREE
	FAGUS SYLVATICA 'DAMONIK GOLD' COLONNAR GOLDEN BEECH	5cm CAL	SEE PLAN	7	DROUGHT TOLERANT
	GLISTERSIA TRIACANTHOS VAR. INERMIS SLANKLEE SLANKLEE HONEYLOCUST	5cm CAL	SEE PLAN	3	DROUGHT TOLERANT
	MALUS 'GOLDEN RAINBOWS' GOLDEN RAINBOWS CRABAPPLE	6cm CAL	6.0m O.C.	6	NATIVE CULTIVAR, STREET TREE UNDER NEAR OVERHEAD WIRES
	PSEUDOTSUGA MENZIESII DOUGLAS FIR	2.0m	SEE PLAN	9	NATIVE SPECIES, REPLACEMENT TREES
	THUJA CORDATA 'GREENGIRT' GREENGIRT LINDEN	5cm CAL	SEE PLAN	2	DROUGHT TOLERANT
<b>SHRUBS</b>					
	Berberis thunbergii 'CONCORDIE' CONCORDIE JAPANESE BARBERRY	#2 POT	1.0m O.C.	64	DROUGHT TOLERANT
	CHOSYA TERNATA MEXICAN ORANGE	#1 POT	1.0m O.C.	26	DROUGHT TOLERANT
	COTINUS COGONIFERA 'WICOT' GOLDEN SPIRIT SMOKY ELSH	#5 POT	SEE PLAN	6	DROUGHT TOLERANT
	ILEX CRENATA 'CONVEK' JAPANESE HOLLY	#1 POT	1.0m O.C.	24	DROUGHT TOLERANT, LOW HEDGE
	JUNIPERUS SABINA 'TAMARISCPOLIA' TAMARISK JUNIPER	#2 POT	1.0m O.C.	37	DROUGHT TOLERANT
	JUNIPERUS SCOPULORUM 'WICHTADLUC' WICHTADLUC JUNIPER	#5 POT	SEE PLAN	3	DROUGHT TOLERANT
	LONGICSA NITIDA 'LIMON BEAUTY' LIMON BEAUTY BOX HONEYSUCKLE	#1 POT	1.2m O.C.	48	DROUGHT TOLERANT
	MAHONIA AQUIFOLIUM OREGON GRAPE	#2 POT	1.0m O.C.	54	NATIVE SPECIES, DROUGHT TOLERANT
	POLYSTICHUM MANTILLUM SHAGBARK FERN	#2 POT	1.0m O.C.	51	NATIVE SPECIES
	PRUNUS LAURO-CORNASUS 'ORTO LUYKEN' DWARF ENGLISH LAUREL	#2 POT	1.0m O.C.	16	DROUGHT TOLERANT, LOW HEDGE
	RHODOCENDRON SSP. MIX RED & WHITE	#5 POT	SEE PLAN	22	DROUGHT TOLERANT
	THUJA PLICATA 'DICELES' DICELES RED CEDAR	1.5m	0.3m O.C.	42	NATIVE CULTIVAR, 1.5m HEDGE
	VIBURNUM DAVIDI DAVIDS VIBURNUM	#1 POT	1.0m O.C.	46	DROUGHT TOLERANT
<b>GROUNDCOVER, VINES &amp; PERENNIALS</b>					
	CAREX OBLIQUA STIPITA SLOUGHY SAWBEAK SEDGE	PLUG	0.6m O.C.	200	NATIVE SPECIES
	CLEMATIS ARMANDI EVERGREEN CLEMATIS	#1 POT	1 PER POST	3	VINE ON POST TOP ARBOR
	CORNUS SERICEA 'NELSONI' KELSEY'S DWARF DOGWOOD	#1 POT	0.6m O.C.	130	NATIVE CULTIVAR
	ELIOMMAUS FORTLAND VAR. RADICANS WHITE GREENER HAWKWOOD PRINCEPAGE OTHER	10cm POT #1 POT	0.45m O.C. 0.3m O.C.	129 05	DROUGHT TOLERANT
	HAKONCO ILOA MAURA 'AUREOLA' GOLDEN JAPANESE FOREST GRASS	#2 POT	0.6m O.C.	41	SHADE TOLERANT
	JUNCUS EFFUSUS COMMON RUSH	PLUG	0.6m O.C.	150	NATIVE SPECIES
	MAHONIA NERVOSA CASCADE OREGON GRAPE	10cm POT	0.45m O.C.	95	NATIVE SPECIES
	PENNISETUM ALOPECUROIDES HAMELIN DWARF FOUNTAIN GRASS	#2 POT	0.6m O.C.	113	DROUGHT TOLERANT
	LAWN	500		75m <sup>2</sup>	

NOTE: DROUGHT TOLERANCE IS BASED ON SPECIES ONCE ESTABLISHED



THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNLESS IT HAS BEEN STAMPED AND SIGNED BY THE LANDSCAPE ARCHITECT. THE COMPANY IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY CAUSED BY THIS DRAWING OR ANY INFORMATION CONTAINED THEREIN.

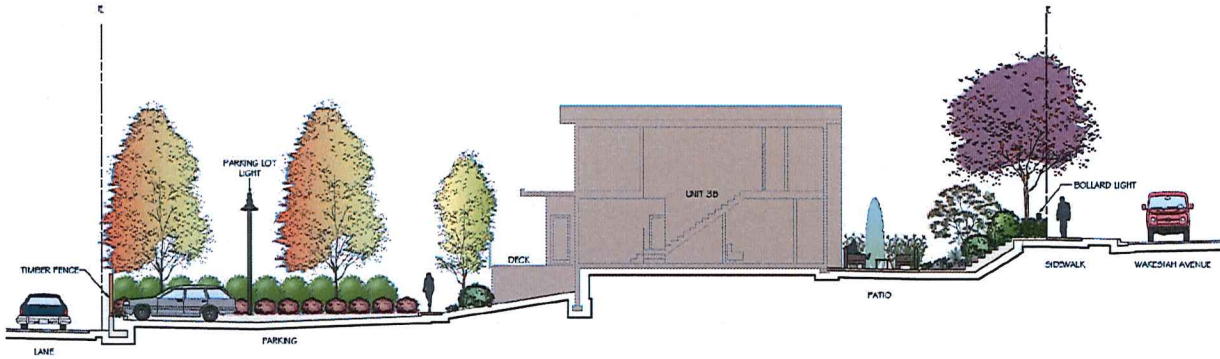
615 & 699 Harewood Road  
1035137 BC Ltd.  
Nanaimo, BC

<b>PLANTING PLAN</b>	
Date:	February 27, 2019
Drawn:	CA
Checked:	TRG
Project Number:	18-0004
DATE/NO. ISSUED:	L2 of 4

#	DATE	NOTES
0	20/02/2018	100 Review & Construction
1	06/03/2018	Issued for DP
2	27/02/2019	Revised for DP



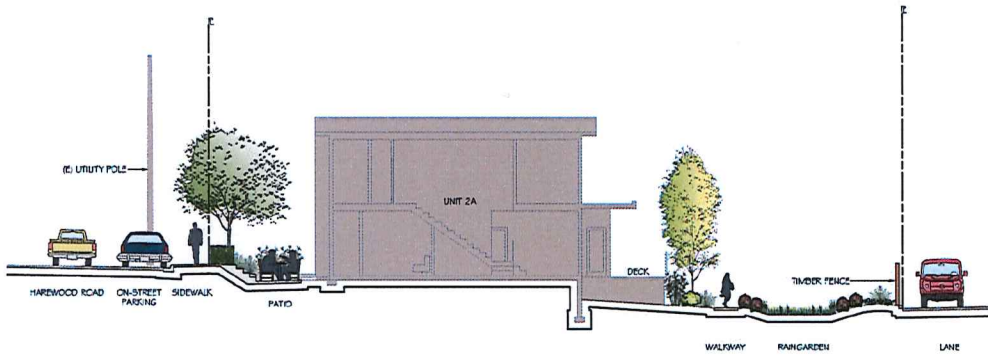




Section A-A

1:100 metric

Section/Elevation



Section B-B

1:100 metric

Section/Elevation



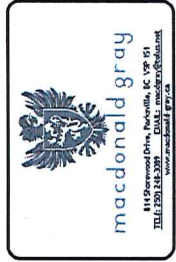
THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNLESS IT HAS BEEN STAMPED AND SIGNED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DIMENSIONS OF THE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

615 & 699 Harewood Road  
1035137 BC Ltd.  
Nanaimo, BC

SECTIONS	
Date:	February 27, 2019
Drawn:	CA
Checked:	TRG
Scale:	1:100 metric
Project Number:	18-0004
DRAWING NUMBER:	L3 of 4

#	Date	NOTES
0	2018/02/28	DP Review & Coordination
1	03/02/2019	Issued for EP
2	2/27/2019	Revised for EP

RECEIVED  
DP 1115  
2019-FEB-28  
Current Planning



THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNTIL IT HAS BEEN STAMPED AND SIGNED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL VERIFY AND CORRECT ALL THE ASSUMPTIONS AND CONDITIONS OF THE SITE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES.

615 & 699 Harewood Road  
1035137 BC Ltd.  
Nanaimo, BC

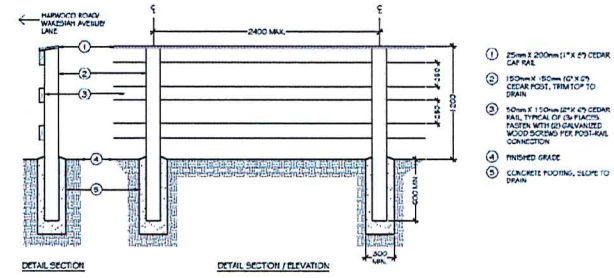
<b>DETAILS</b>	
Date:	February 27, 2019
Drawn:	CA
Checked:	TRG
Scale:	AS NOTED
Project Number:	18-0004
DRAWING NUMBER:	L4 of 4

#	Date	NOTES
0	20/02/2018	IP Review & Coordination
1	06/03/2018	Issued for IP
2	27/02/2019	Revised for IP

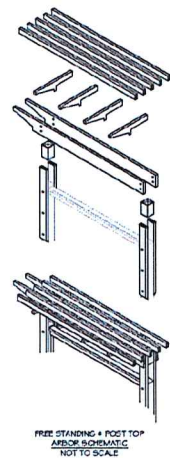
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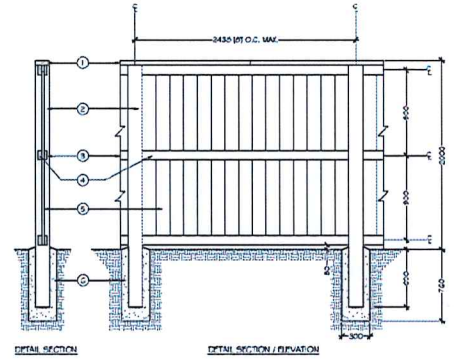
COLLIERY DAM INSPIRATION



**B** Colliery Dam Fence  
Section, Elevation  
1:25 metric



FREE STANDING \* POST TOP  
ARBOR INFORMATIONAL  
NOT TO SCALE



- 1 50mm x 150mm (2" x 6") CAP RAIL
- 2 150mm x 150mm (6" x 6") POST
- 3 25mm x 120mm (1" x 4 3/4") S&B RAIL, TYPICAL OF (B) PLACED
- 4 50mm x 120mm (2" x 4 3/4") FENCE RAIL, TYPICAL OF (B) PLACED
- 5 25mm x 150mm (1" x 6") FENCE BOARD, PLACED TIGHT
- 6 CONCRETE FOOTING, SLOPE TO DRAIN

**A** 2.0m Fence, Post Top & Freestanding Arbor  
Section, Elevation, Isometric  
1:25 metric As Noted